

Public

*Neath Port Talbot County Borough Council
Cyngor Bwrdeistref Sirol Castell-nedd*

*Democratic Services
Gwasanaethau Democrataidd*

Chief Executive: Steven Phillips

Date: 25th October 2016

Dear Member

PLANNING COMMITTEE - TUESDAY, 25TH OCTOBER, 2016

Please find attached the presentation that was given at the **Planning Committee - Tuesday, 25th October, 2016.**

Item

11. **Presentation (Pages 1 - 42)**

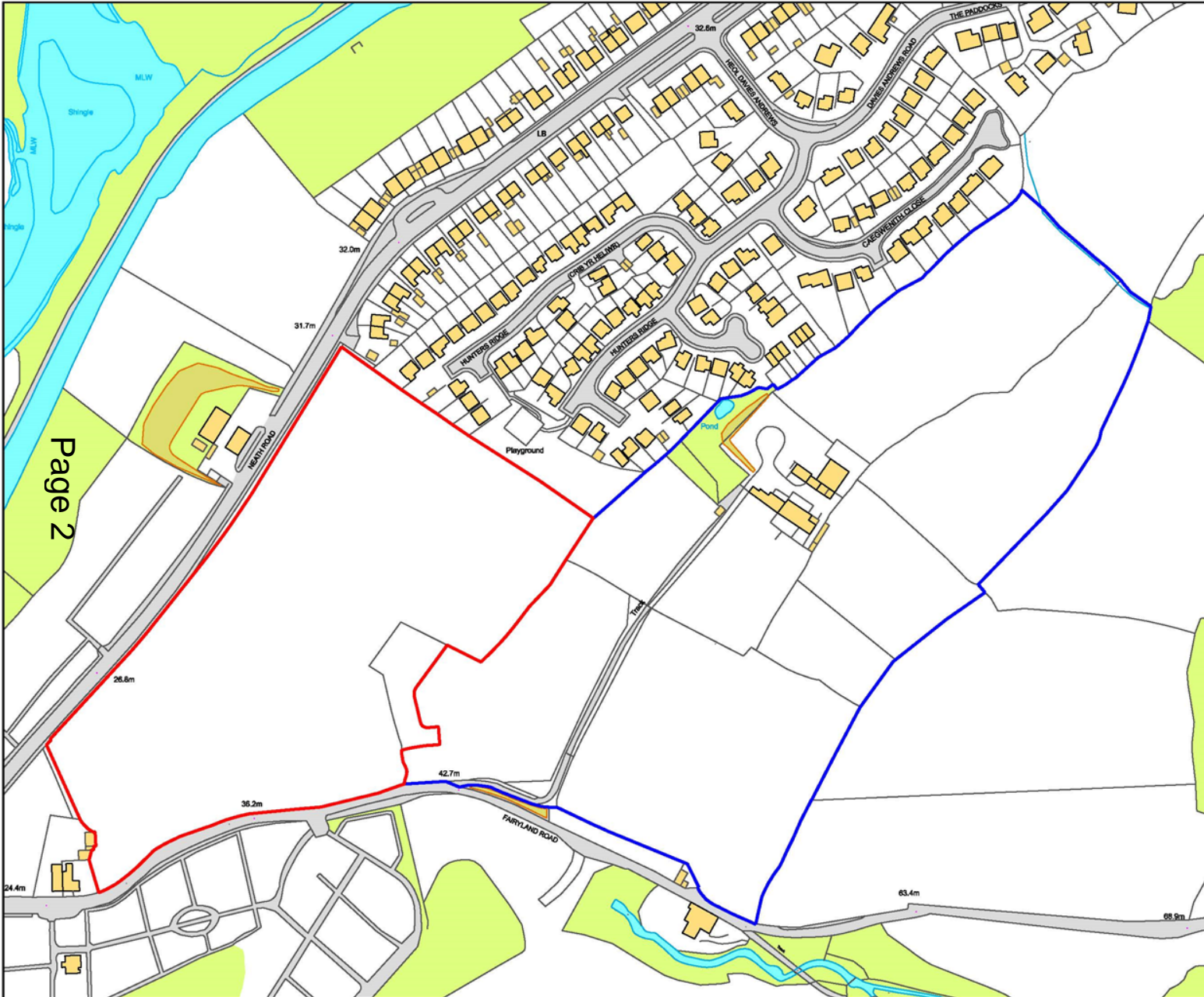
Yours sincerely

Chief Executive

Encs

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<u>APPLICATION NO:</u> P2015/0011	<u>DATE:</u> 27/01/2015
PROPOSAL:	138 residential dwellings with associated infrastructure, engineering works, and public open space.
LOCATION:	Land at Neath Road, Tonna, Neath
APPLICANT:	Barratt South Wales
TYPE:	Full Plans
WARD:	Neath North



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 Where existing trees are shown to be retained they should be subject to a full Arboricultural Inspection by arborist. A suitable method of foundation is to be provided to accommodate proposed tree planting.

General Notes



Rev	Date	By	Comment
A	06.6.16	DA	Boundary at North corner revised

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 Architectural
 Town Planning
 Urban Design
 Civil Engineering Design
 Planning Supervision
 Licensed Code Assessor
 Landscape Architecture

HAMMONDS YATES LIMITED
 Keatral Court : Harbour Road : Portishead : BS20 7AN
 T: 01275 844744 E Mail: info@hammondseyates.com

Client
Barratt South Wales

Project Title
**Land off Neath Road
 Tonna**

Drawing Title
Location Plan

Drawing Status

Drawn By DA	Scales 1:2000	A3	Date March 2016
Job No. 1605	Drawing No. 101	Rev. A	

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Legend

- Site Boundary
- LDP Settlement Limit

P2015/0011 - Site in context of Local Development Plan

BE3/1(d)

SC1

H1/11

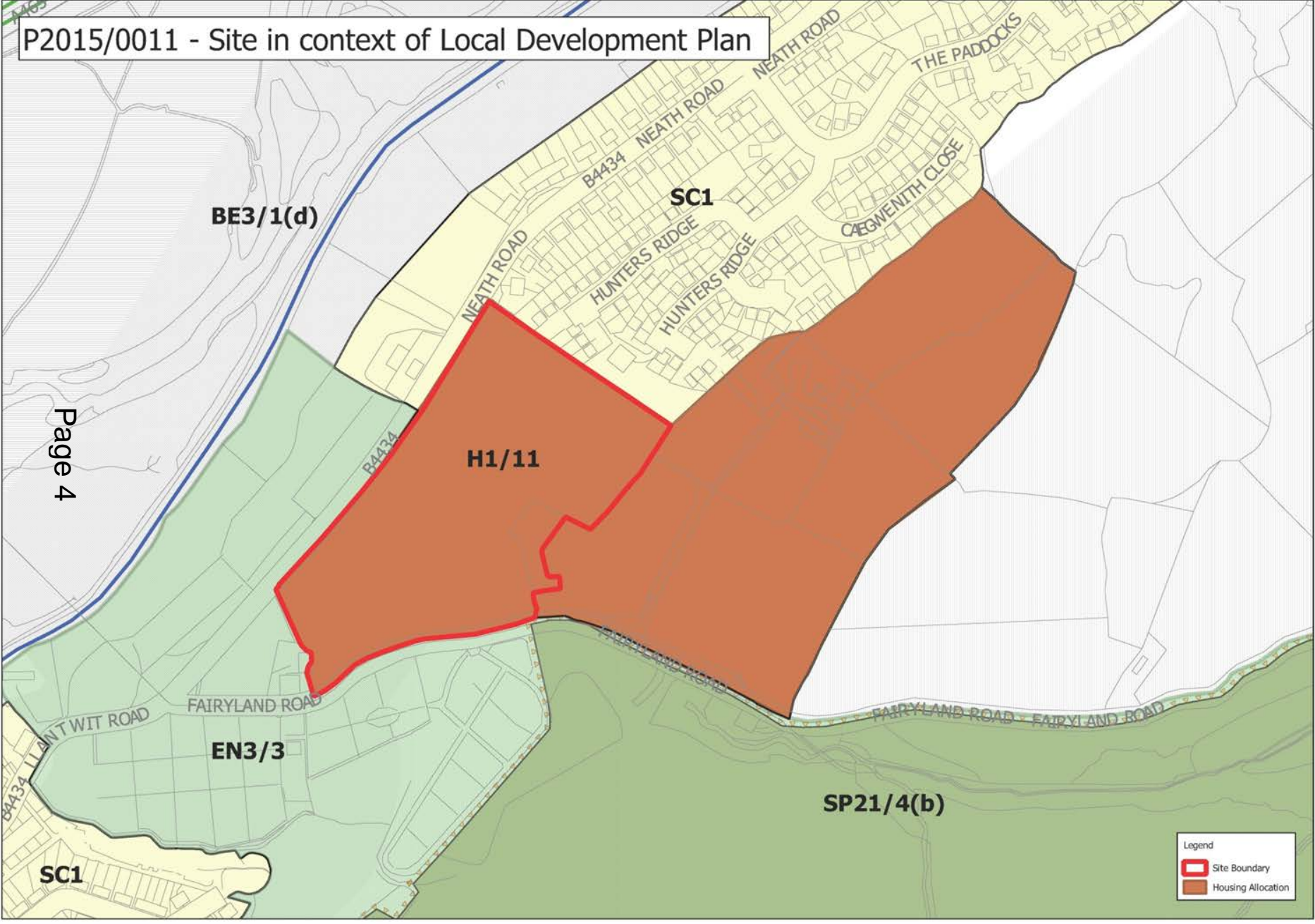
EN3/3

SP21/4(b)

Page 4

Legend

- Site Boundary
- Housing Allocation






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- General Notes**
- LEGEND**
- Site Boundary
 - Lower Density Residential with Indicative Frontage
 - Medium Density Residential with Indicative Frontage
 - Formal Open Space
 - Existing Trees and Hedgerows
 - New Tree Planting
 - LEAP / LAP Locations
 - Existing Farm and Building to be Retained
 - Key / Focal Buildings
 - Bus Route - 6.5m Carriage Way
 - Bus Stop (both sides of highway)
 - Emergency Access Link - Formed from Existing Track
 - Pedestrian Link

Rev	Date	By	Comment


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Hammonds Yates Limited
 Kestrel Court · Harbour Road · Portishead · BS20 7AN
 T: 01275 844744 E: Mail: info@hammondsyates.com

Client
Barratt South Wales

Project Title
**Land off Neath Road
 Tonna**

Drawing Title
Illustrative Masterplan

Drawing Status

Drawn By IB	Scales 1:2000	A3	Date May 2014
Job No 1605	Drawing No 10	Rev.	

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STREET SCENE ONE Pav 01 Pav 02 Pav 03 Pav 04 Pav 05 Pav 06 Pav 07 Pav 08 Pav 09 Pav 10



STREET SCENE TWO Pav 01 Pav 02 Pav 03 Pav 04 Pav 05 Pav 06 Pav 07 Pav 08 Pav 09 Pav 10 Pav 11 Pav 12



STREET SCENE THREE Pav 08 Pav 09 Pav 10 Pav 11 Pav 12 Pav 13 Pav 14



STREET SCENE FOUR Pav 08 Pav 09 Pav 10 Pav 11 Pav 12 Pav 13 Pav 14 Pav 15



STREET SCENE FIVE Pav 01 Pav 02 Pav 03 Pav 04 Pav 05 Pav 06 Pav 07 Pav 08 Pav 09 Pav 10 Pav 11 Pav 12

Page 7

General Notes

1. The information is to be used as a guide only and does not constitute a contract. The client is responsible for ensuring that the information is accurate and up-to-date.

2. The information is provided on an 'as is' basis and does not constitute a warranty of any kind. The client is responsible for ensuring that the information is accurate and up-to-date.

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 Planning Consultants
 100, The Quadrant, Bournemouth, Dorset, BH1 1JJ
 Tel: 01202 561144 | Email: info@hammondhayes.co.uk
 www.hammondhayes.co.uk

Barratt South Wales

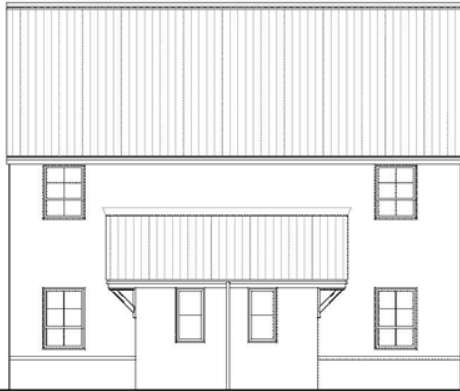
Area 1
Neath Road
Tonna

Proposed Street Scenes

Scale:	1:200	AD
Date:	1/20	1/20
Sheet No:	1605	104

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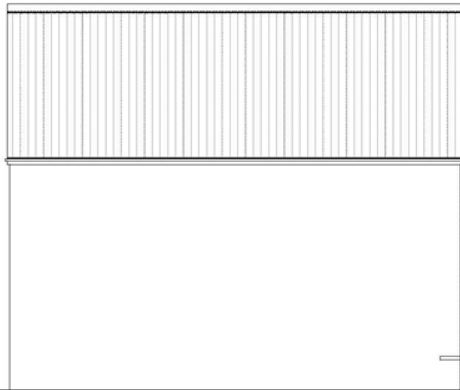
EXAMPLES OF HOUSE TYPES ON FOLLOWING SLIDES
(NOT ALL SHOWN)



Front Elevation

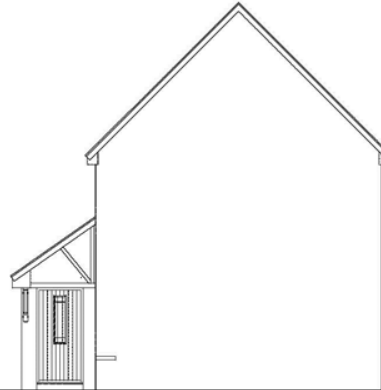


Side Elevation



Rear Elevation

Refer to 100 layout for attached unit to rear elevation



Side Elevation

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General Notes

Rev	Date	By	Comment

Architectural
Town Planning
Urban Design
Civil Engineering Design
Planning Supervision
Limited Code Assessor
Landscape Architecture

Hammonds Yates

HAMMONDS YATES LIMITED
Kestrel Court : Harbour Road : Portlisshead : BS20 7AN
T: 01275 844744 E Mail: info@hammondsyates.com

Client
Barratt Homes Ltd

Project Title
**Neath Road
Tonna**

Drawing Title
**Alder
House Type
Elevations**

Drawing Status

Drawn By DA	Scales 1:100	A3	Date Dec 2014
Job No. 1459	Drawing No. 175	Rev.	

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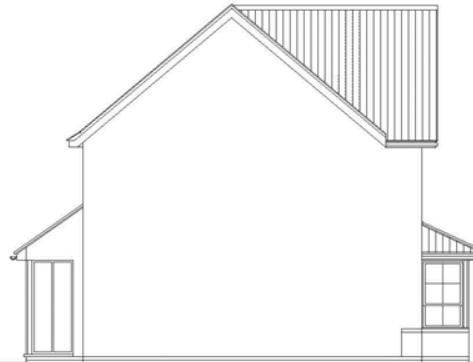
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

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General Notes

Rev	Date	By	Comment

Architectural
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Planning Supervision
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Landscape Architecture

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HAMMONDS YATES LIMITED
Kestrel Court · Harbour Road · Portlithhead · BS20 7AN
T: 01275 844744 E-Mail: info@hammondsyates.com

Client
Barratt Homes Ltd

Project Title
**Neath Road
Tonna**

Drawing Title
**Alston
House Type
Elevations**

Drawing Status

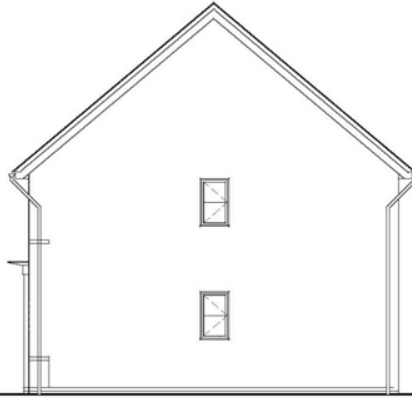
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Scale: 1:100
Date: A3 June 2015

Job No.: 1459
Drawing No.: 177
Rev.

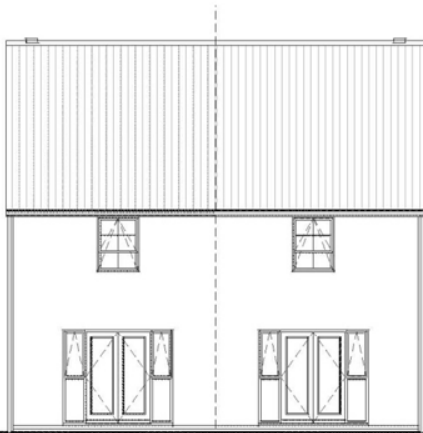
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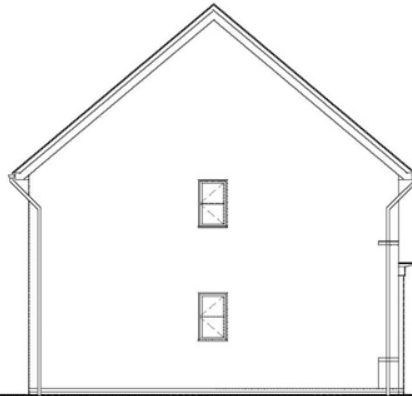
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

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General Notes

Rev	Date	By	Comment

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 Landscape Architecture
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HAMMONDS YATES LIMITED
 Kestrel Court - Harbour Road - Portlisshead - BS20 7AN
 T: 01275 844744 E Mail: info@hammondseyates.com

Client
Barratt Homes Ltd

Project Title
**Neath Road
 Tonna**

Drawing Title
**Ashford
 House Type
 Elevations**

Drawing Status

Drawn By IB	Scales 1:100	Date A3 May 2014
Job No. 1459	Drawing No. 171	Rev.

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Neath Road, Tonna

Plot 128 Cambridge

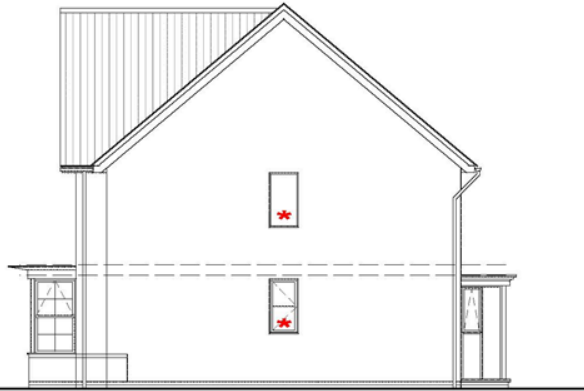
- Side Windows added

- Typical Handrail Design



Hammonds Yates Limited

3 Harbour Crescent Serbert Way
 Portishead Bristol BS20 7FT
 Tel: 01275 844744 Fax: 01275 845575
 info@hammondsyates.com



Side Elevation

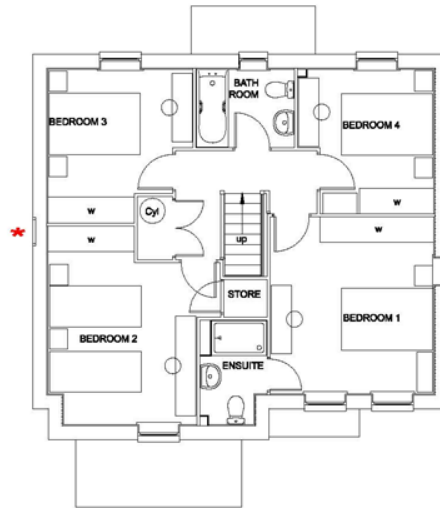


As Built (Non Site Specific) House With Railing Design

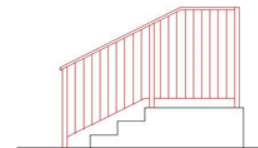
Page 11



Ground Floor Plan



First Floor Plan



Typical Railing Design - 1:50

* Side Windows Added To GF
 Dummy Window Added To FF
 ** Typical Black Vertical Handrail Design

REFER TO LAYOUT FOR HANDINGS
 ILLUSTRATIVE FOR PLANNING PURPOSES ONLY

Rev.
 Client

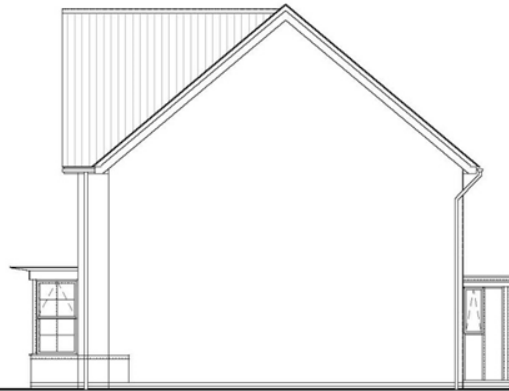


Drawn By Scales Date
 DA 1:100@A3 August 2015
 Job No. Drawing No. Rev.
 1459 178

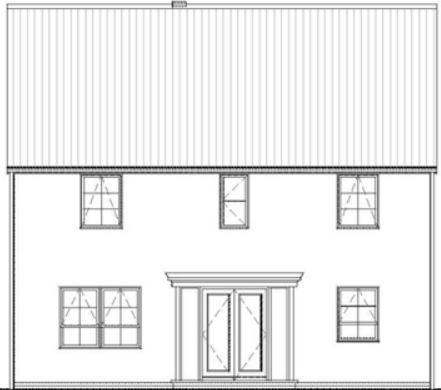
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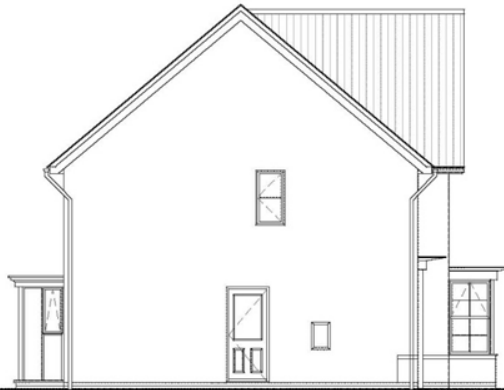
Front Elevation



Side Elevation



Rear Elevation




Side Elevation

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General Notes

A	07.01.16	IB	House type Name change
Rev	Date	By	Comment


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 Landscape Architecture
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HAMMONDS YATES LIMITED
 Kestrel Court - Harbour Road - Portlisshead - BS20 7AN
 T: 01275 844744 E Mail:Info@hammondseyates.com

Client
Barratt Homes Ltd

Project Title
**Neath Road
 Tonna**

Drawing Title
**Cambridge
 House Type
 Elevations**

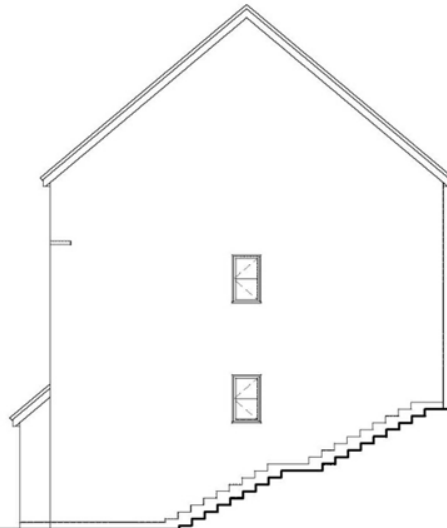
Drawing Status

Drawn By	Scale	A3	Date
IB	1:100		May 2014
Job No.	Drawing No.	Rev.	
1459	151	A	

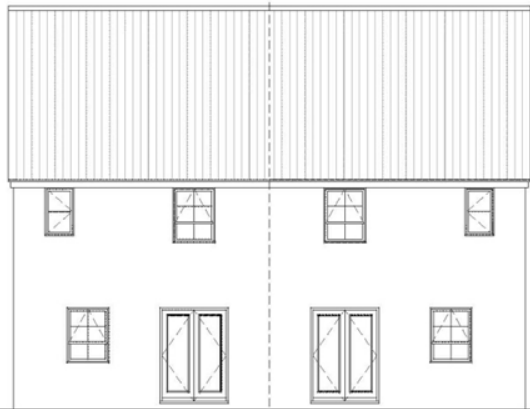
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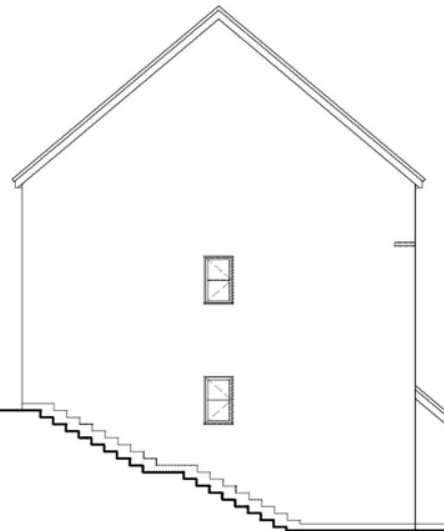
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

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General Notes

Rev	Date	By	Comment

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 Kastrel Court - Harbour Road - Portlisshead - BS20 7AN
 T: 01275 844744 E Mail: info@hammondseyates.com

Client
Barratt Homes Ltd

Project Title
**Neath Road
 Tonna**

Drawing Title
**Chichester
 House Type
 Elevations**

Drawing Status

Drawn By IB	Scales 1:100	Date A3 May 2014
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Job No. 1459	Drawing No. 167	Rev.
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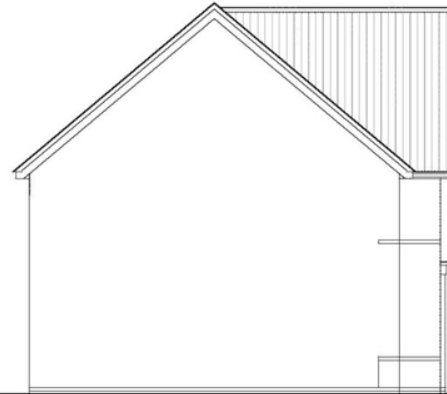
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General Notes

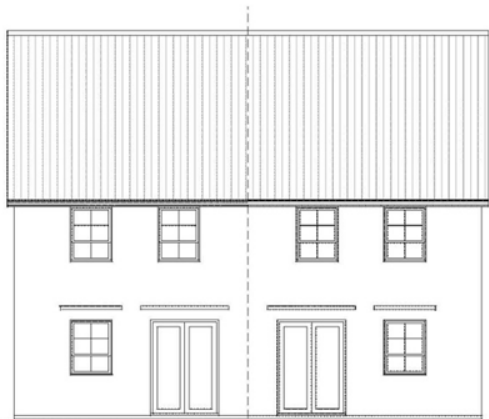
Rev	Date	By	Comment



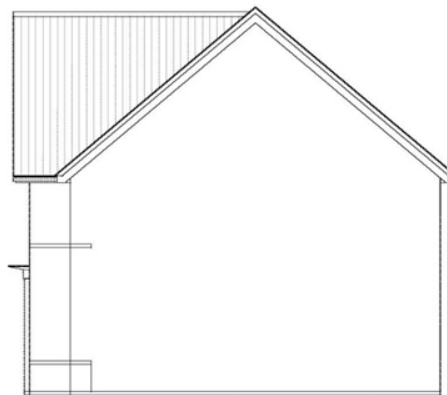
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

Page 14

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 Licensed Code Assessor
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 Kestrel Court - Harbour Road - Portlisshead - BS20 7AN
 T: 01275 844744 E Mail: info@hammondsyates.com

Client
Barratt Homes Ltd

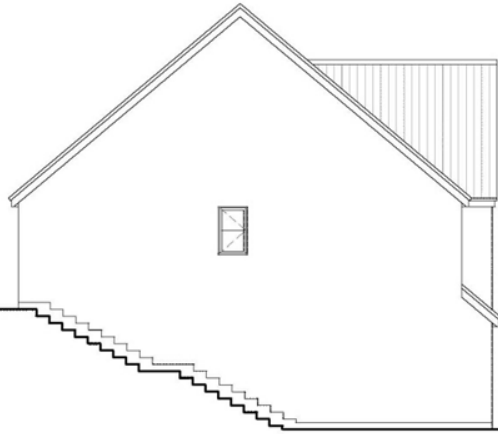
Project Title
**Neath Road
 Tonna**

Drawing Title
**Dewsbury
 House Type
 Elevations**

Drawing Status

Drawn By IB	Scale 1:100	Date A3 May 2014
Job No. 1459	Drawing No. 169	Rev.

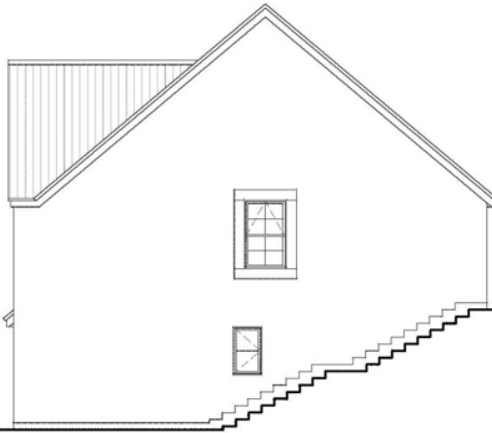
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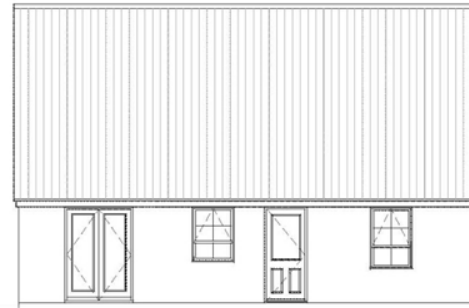
Side Elevation



Front Elevation



Side Elevation



Rear Elevation

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General Notes

Rev	Date	By	Comment


 Architectural
 Town Planning
 Urban Design
 Civil Engineering Design
 Planning Supervision
 Licensed Code Assessor
 Landscape Architecture
Hammonds Yates
HAMMONDS YATES LIMITED
 Kastrel Court - Harbour Road - Portlisshead - BS20 7AN
 T: 01275 844744 E Mail: info@hammondseyates.com

Client
Barratt Homes Ltd

Project Title
**Neath Road
 Tonna**

Drawing Title
**Hastings
 House Type
 Elevations**

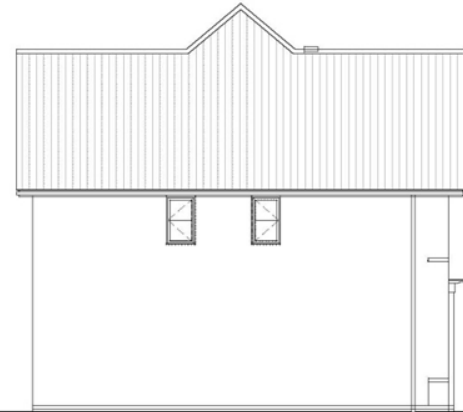
Drawing Status

Drawn By IB	Scales 1:100	Date A3 May 2014
Job No. 1459	Drawing No. 165	Rev.

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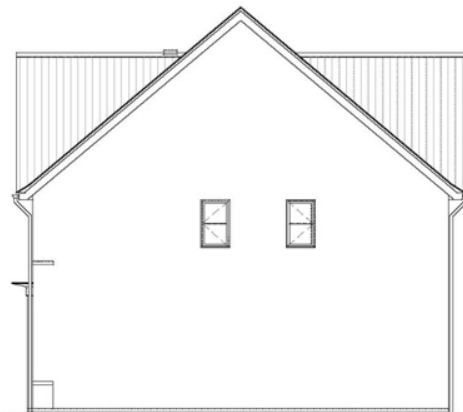
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

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 T: 01275 844744 E Mail:Info@hammondseyates.com

Client
Barratt Homes Ltd

Project Title
**Neath Road
 Tonna**

Drawing Title
**Tiverton
 House Type
 Elevations**

Drawing Status

Drawn By IB	Scales 1:100	Date A3 May 2014
Job No. 1459	Drawing No. 163	Rev.

DO NOT SCALE THIS DRAWING
 All Dimensions and Levels to be verified prior to Building operations or Construction.
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NEW FOA RISING MAIN TO CONNECT TO EXISTING PUBLIC FOA SERVICE AT THIS POINT, INDICATED BY DASH DOTTED LINES. BASED ON HYDRAULIC MODELLING REPORT JAN 2015

NOTE:
 PROPOSED SEWERS AND HIGHWAY DRAINS WHERE CONSTRUCTED UNDER HIGHWAY ARE TO BE LOCATED SUCH THAT THERE IS A MINIMUM OF 1.0m CLEARANCE BETWEEN KERB LINE AND SEWER AND A MINIMUM OF 0.5m CLEARANCE BETWEEN KERB LINE AND MANHOLE

Legend	
	Existing Public Foot Water Sewer
	Proposed Public Foot Water Sewer
	Proposed Highway Drain
	Proposed Surface Water Sewer
	Proposed Surface Water Drain
	Proposed Storage Tanks
	Proposed Storage Tanks with Capacity
	Proposed Street Gully & Connection
	Proposed Street Gully & Connection

General Notes

1. All sewerage infrastructure to be installed in accordance with the Australian Standards AS/NZS 3500:2003 and AS/NZS 3500:2005.
2. All sewerage infrastructure to be installed in accordance with the Australian Standards AS/NZS 3500:2003 and AS/NZS 3500:2005.
3. All sewerage infrastructure to be installed in accordance with the Australian Standards AS/NZS 3500:2003 and AS/NZS 3500:2005.
4. All sewerage infrastructure to be installed in accordance with the Australian Standards AS/NZS 3500:2003 and AS/NZS 3500:2005.
5. All sewerage infrastructure to be installed in accordance with the Australian Standards AS/NZS 3500:2003 and AS/NZS 3500:2005.
6. All sewerage infrastructure to be installed in accordance with the Australian Standards AS/NZS 3500:2003 and AS/NZS 3500:2005.
7. All sewerage infrastructure to be installed in accordance with the Australian Standards AS/NZS 3500:2003 and AS/NZS 3500:2005.
8. All sewerage infrastructure to be installed in accordance with the Australian Standards AS/NZS 3500:2003 and AS/NZS 3500:2005.
9. All sewerage infrastructure to be installed in accordance with the Australian Standards AS/NZS 3500:2003 and AS/NZS 3500:2005.
10. All sewerage infrastructure to be installed in accordance with the Australian Standards AS/NZS 3500:2003 and AS/NZS 3500:2005.

Revision Table

Rev	Description
A	100% Final
B	100% Final
C	100% Final
D	100% Final
E	100% Final

Hammonds Yates
 HAMMONDS YATES LIMITED
 7 DORA STREET, SYDNEY NSW 1585
 T: 02 953 8888 E: MY@hammondsyates.com.au

Barratt David Wilson Homes
 South Wales

Neath Road, Tonna.

Engineering Layout

Drawing Data

Scale	Sheet	AD
1:100	201	1605

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<u>APPLICATION NO:</u> P2016/0593	<u>DATE:</u> 19/07/2016
PROPOSAL:	Change of use from office accommodation (Class B1) to residential use (Class C3) to provide 41 affordable dwellings, alterations to building elevations and roof, cycle, mobility scooter and refuse storage, improvements to public realm and associated works
LOCATION:	Aberafan House, Access To Port Talbot Civic Centre, Port Talbot SA13 1PJ
APPLICANT:	Mr C Davies – Hacer Development
TYPE:	Full Plans
WARD:	Aberavon



SITE LOCATION PLAN 1:1250

- KEY**
- Main site boundary (Ground floor)
 - Contractor's compound
 - Material delivery route into building (via raised platform on first floor - see drawing AL(0)017)



Existing Views

REV		REV	
A	North Point & Scale Bar added. Line of Ground Floor demise added.		
B	Site Boundary adjusted to include Contractor's Compound		
C	Key added		

PRELIMINARY	
PLANNING	●
CONTRACT	
CONSTRUCTION	

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For Hacer Property Development and Investment

POW.001 No	0001 No	REV
14074	14074 AL(0)001	C
ISSUED	DATE	SCALE

CONTACT: Aberafan House, Port Talbot Residential Conversion

DATE: May 2019

SCALE: 1:1250

FILE: Site Location Plan

CHECKED: JMB



Proposed South East Elevation 1:100

N.B. Coloured window films and reveals indicative and to be confirmed with client

This drawing has not been issued for construction. It is for information only. It is not to be used for construction purposes. It is not to be used for any other purpose without the written consent of Powell Dobson Architects.

REV.		REV.		REV.	
A	Scale Bar added				
B	Minor modifications to Projecting pods and parapet line.				
C	Minor modifications to general elevation				
D	Amendments to Projecting pod reveals, fourth floor windows and parapet detail/copying				
E	Further amendments to projecting pod reveals and fourth floor, bin/bike store amended and heights amended following dimension check				
F	Projecting pods removed from 4F, colour added to bin store				

PRELIMINARY	
PLANNING	●
CONTRACT	
CONSTRUCTION	

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ARCHITECTS

Contract: **Aberafan House, Port Talbot Residential Conversion**
Title: **Proposed South East Elevation**

for Hacer Property Development and Investment		REV
POA Job No:	DRG No:	F
14074	14074 AL(0)008	
Scale:	1:100	
Date:	May 2018	
Drawn:	AM	
Checked:		



Proposed North West Elevation 1:100

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REV.		REV.	
A	Scale Bar added		
B	Minor modifications to Projecting pods and parapet line.		
C	Minor modifications to general elevation		
D	Amendments to Projecting pod reveals, fourth floor windows and parapet detail/copying		
E	Further amendments to projecting pod reveals and fourth floor and heights amended following dimension check		
F	Projecting pods removed from 4F, colour added to bin store		

1:100 28/05/2018 0:20:16:00:00

Registered office: Powell Dobson Ltd, Suite 17, Building One, Eastern Business Park, Wern Faer Lane, Old St Mellons, Cardiff, CF3 5EA registered in England & Wales No: 3873802.

PRELIMINARY	
PLANNING	●
CONTRACT	
CONSTRUCTION	

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Contract: **Aberafan House, Port Talbot Residential Conversion**
Title: **Proposed North West Elevation**

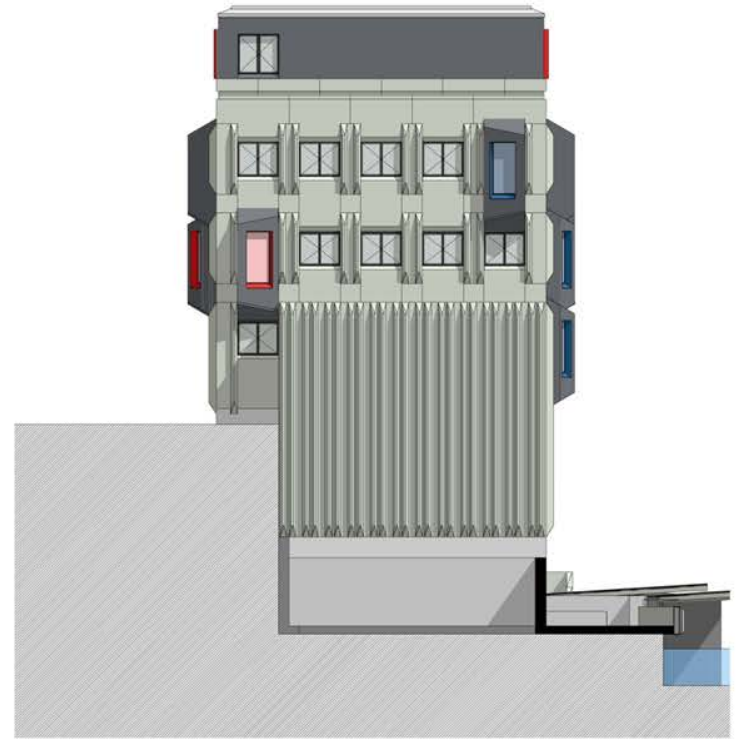
N.B. Coloured window films and reveals indicative and to be confirmed with client

for Hacer Property Development and Investment			
POA Job No.	DRG No.	DATE	REV
14074	14074 AL(0)009		F

Scale: 1:100
Date: May 2018
Drawn: AM
Checked:



Proposed North East Elevation 1:100



Proposed South West Elevation 1:100

Not to be used for construction. This drawing is for information only. It is not to be used for construction. All dimensions are in millimeters unless otherwise stated. All dimensions are to face unless otherwise stated.

REV.		REV.
A	Scale Bar added	
B	Minor modifications to Projecting pods and parapet line.	
C	Minor modifications to general elevation	
D	Amendments to Projecting pod reveals, fourth floor windows and parapet detail/copying	
E	Further amendments to projecting pod reveals and fourth floor, bin/bike store amended and heights amended following dimension check	
F	Projecting pods removed from 4F, colour added to bin store	

TAD 28/06/2018 10:27:00 AM

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PRELIMINARY	
PLANNING	●
CONTRACT	
CONSTRUCTION	

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Contract: **Aberafan House, Port Talbot Residential Conversion**
Title: **Proposed South West & North East Elevations**

N.B. Coloured window films and reveals indicative and to be confirmed with client

for Hacer Property Development and Investment		
POA Job No.	DRG No.	REV
14074	14074 AL(0)010	F
ISSUED	REVISED	DATE

Scale: 1:100
Date: May 2018
Drawn: AM
Checked:



- Light coloured aluminium (or similar approved) cladding to roof parapet
- Martyr Eminent Equiline Tacture (Faded) Rainscreen Cladding panels
- Fluoride coated aluminium 200mm square feature frames around window fourth floor windows - see notes below for colours and also fine applied to surrounding windows
- VMZinc Quartz Zinc finish and cladding to projecting and cantilever
- Kanmer AMAX aluminium clad window or window approved - frames RAL7011. See notes below for coloured reveals and floor applied to the glazing
- Site specific paint finish to existing facade panels, arches and columns - colour TSC on site
- Site specific paint finish to existing brackets, arches and columns - colour TSC on site combined with main facade colour

2	VMZinc Quartz finish and cladding to projecting bay windows
3	Martyr Eminent Equiline Tacture (Site Blue to Site Blue Stone)
4	Martyr Eminent Equiline Tacture (Projecting Bay to Site Blue Stone)
5	Martyr Eminent Equiline Tacture (Site Blue to Site Blue Stone)
6	Martyr Eminent Equiline Tacture (Faded) Rainscreen cladding panels to fourth floor

External materials have been selected for their robustness and self-cleaning properties due to the harsh environment in which the building is located. Steel between the glass units and the fix columns and wall will be in white epoxy paint.

It is proposed that the existing concrete panels are retained and coated with a self-cleaning facade paint system developed by Sika, the paint system, as it cures, forms a unique microstructure on its surface similar to that found on the lotus leaf, greatly reducing the surface contact of water and dirt particles. Water and dirt are unable to grip the surface, so the facade is cleaned every time it rains. Very high CO2 and water vapour permeability. It provides the self-cleaning mechanism against algae and fungus growth by removing the conditions required for them to thrive. This paint system has been successfully used previously at the refurbished Llanur Centre in Swansea, now around 10 years since its completion, the paint finish still looks good with very little evidence of staining or algae growth.

The projecting bay windows follow the facade breaking up the regularity of the office fenestration pattern and adding interest to a building which otherwise follows Talbot's form. These bays are to be clad in zinc steel coated to ensure that self-cleaning to the surface is maintained. The steel material is self-healing with no applied colour any small scratches which may be caused to the surface will quickly weather back to the same colour as the pre-patinated quartz finish proposed.

It is also intended to introduce elements of colour internally, with the deep external reveals to the bay windows to be coloured and a white coloured film used for the glazing. On the fourth floor coloured picture frames will be used to add colour due to the construction issues surrounding pods on the floor. The final selected colour will be presented to the Planning Authority for approval before being applied to the building.

The new rainscreen cladding to the top floor disguises the mansard roof behind a vertical face. It is proposed to use a Martyr Eminent panel or similar to clad the top floor and the new on-site store area at Ground Floor level. The Equiline Tacture (Faded) colour is not proposed as a through coloured treated material which has been selected for its robustness on the top floor and the Equiline Tacture (Site Blue, Regency Blue and Navy Blue colour strips are not proposed for the Site Blue and Site Stone as they are anti-graffiti coating to protect it and provide further colour to the facade wall.

For external Public Realm materials proposals refer to drawing 14074 AL/0216 Proposed Landscape Materials.

Colour Scheme for Facade Windows

The colour scheme below applies to the pod window reveals, the fourth floor picture frames, and their corresponding aluminium frames applied to the glazing. Windows and picture frames are to be fixed colours in the form of a powder coated aluminium, (provided by Kanmer or similar approved).

The glaze itself is to have a main subtle version of the same colour as the powder coated aluminium and is to be achieved via a coloured film attached to the glazing, provided by Applied Products (or similar approved).

- Red feature windows RAL 3002
- Blue feature windows RAL 5005
- Yellow feature windows RAL 1018

- Martyr Eminent Equiline Tacture (Site Blue / Regency Blue / Navy Blue) anti-graffiti Rainscreen Cladding panels
- Aluminium frame units RAL7011
- Kanmer AMAX aluminium clad window or window approved - frames RAL7011
- Kanmer AMAX aluminium clad window or window approved - frames RAL7011
- Aluminium frame units RAL TSC - to match colour of Navy Blue Equiline Tacture panels
- External lighting to be provided under arches for security and to illuminate stone cladding glazing reveals

REV	DESCRIPTION	REV	DESCRIPTION
A	Minor modifications to Projecting pods and parapet line.		
B	Amendments to Projecting pod reveals, fourth floor windows and parapet detail/capping		
C	Updated elevation to match the most recent scheme, notes amended and notes added regarding film on 'pod' windows and pod reveal colours		
D	Updated elevation to match the most recent scheme, extra bin store materials added, notes amended		

PRELIMINARY	
PLANNING	●
CONTRACT	
CONSTRUCTION	

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For Hacer Property Development and Investment

FOA job No: 14074 DRD No: 14074 AL/0211

Scale: 1:100
Date: May 2016
Drawn: AM
Checked:

Contract: Aberafan House, Port Talbot Residential Conversion
Title: External Materials



2 Proposed Second Floor Plan
1 : 100



1 Proposed First Floor Plan
1 : 100

KEY TO ROOM TYPES

- 1-Bed 2P Apartment
- 2-Bed 2P Apartment
- Circulation Spaces
- Services and Storage Zones
- Areas not part of project

This drawing must not be scaled.
Figured dimensions and levels to be used.
Any discrepancies must be notified to the architect.
Detail drawings and large scale drawings take precedence over smaller drawings.

A1

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PRELIMINARY	
PLANNING	✓
DESIGN	
TENDER	
CONSTRUCTION	

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Contract: **Aberafon House
Port Talbot**
Title: **Proposed First & Second Floor Layout**

SCALE:	DATE:	NO:	REV:
SITE	PCA	05/14	01
		A	AL0006
			G

Scale: As indicated
Date: 04/14/16
Drawn: DP
Checked: KM

Proposed Landscape Materials & Street Furniture

Proposed landscape surfacing materials have been selected for their robustness and resistance to damage as well as for their aesthetic qualities.

In an effort to create a cohesive urban environment throughout the Town centre and help establish a palette of materials and street furniture for wider use, we have 'borrowed' heavily from the Port Talbot Integrated Transport Hub proposals. Whilst not wishing to replicate exactly the materials used we have suggested that colour, texture and articulation of the surfaces should be sympathetic to those proposed at the Transport Hub.

-  Marshall's 'greenmoor rustic' yorstone paving flamed finish 150/300/450mm wide x 450/600/750mm long, 63mm thick.
-  Marshall's 'vrentino porphyry' paving cube setts 80mm long x 80mm wide x 80mm.
-  Marshall's 'granite setts' 200mm long x 100mm wide x 150mm thick, light grey granite 'G5A937' in parking bays.

Or similar approved.



Derby Standard Litter Bin

Constructed from 2mm stainless steel, perforations to all 4 faces, heavy duty front opening door, cigarette stubbing panel to lid

Or similar approved.

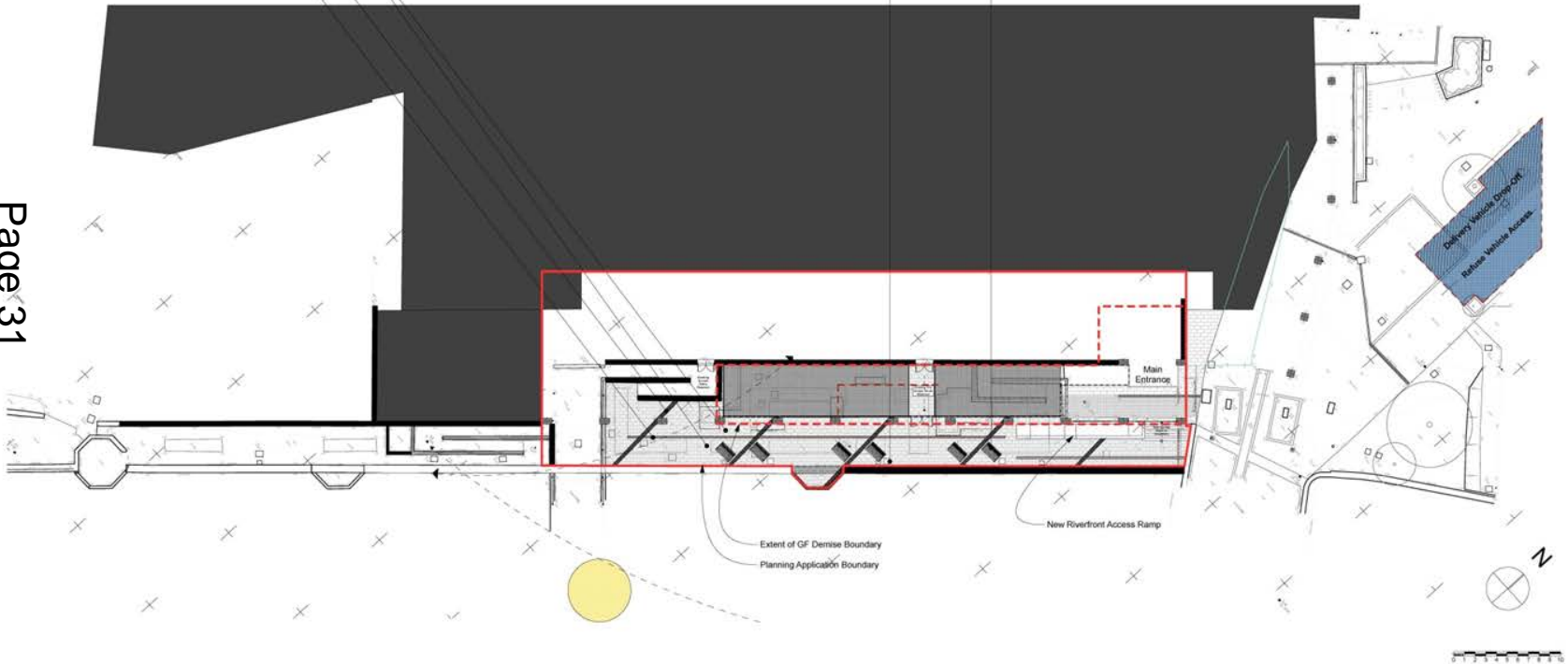


Modern Urban Designed Seats:

The high quality benches combine outdoor sitting with greenery and robust hardwood seat made of R&R beams invisibly mounted.

Or similar approved.

Page 31



REV		REV
A	Bin type amended	
B	Plan updated to reflect latest scheme	

PRELIMINARY	
PLANNING	●
CONTRACT	
CONSTRUCTION	

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for Hacer Property Development and Investment		
PCA Job No.	DRG No.	REV
14074	14074 AL(0)016	B

Contract: **Aberafan House, Port Talbot Residential Conversion**
Title: **Proposed Landscape Materials**

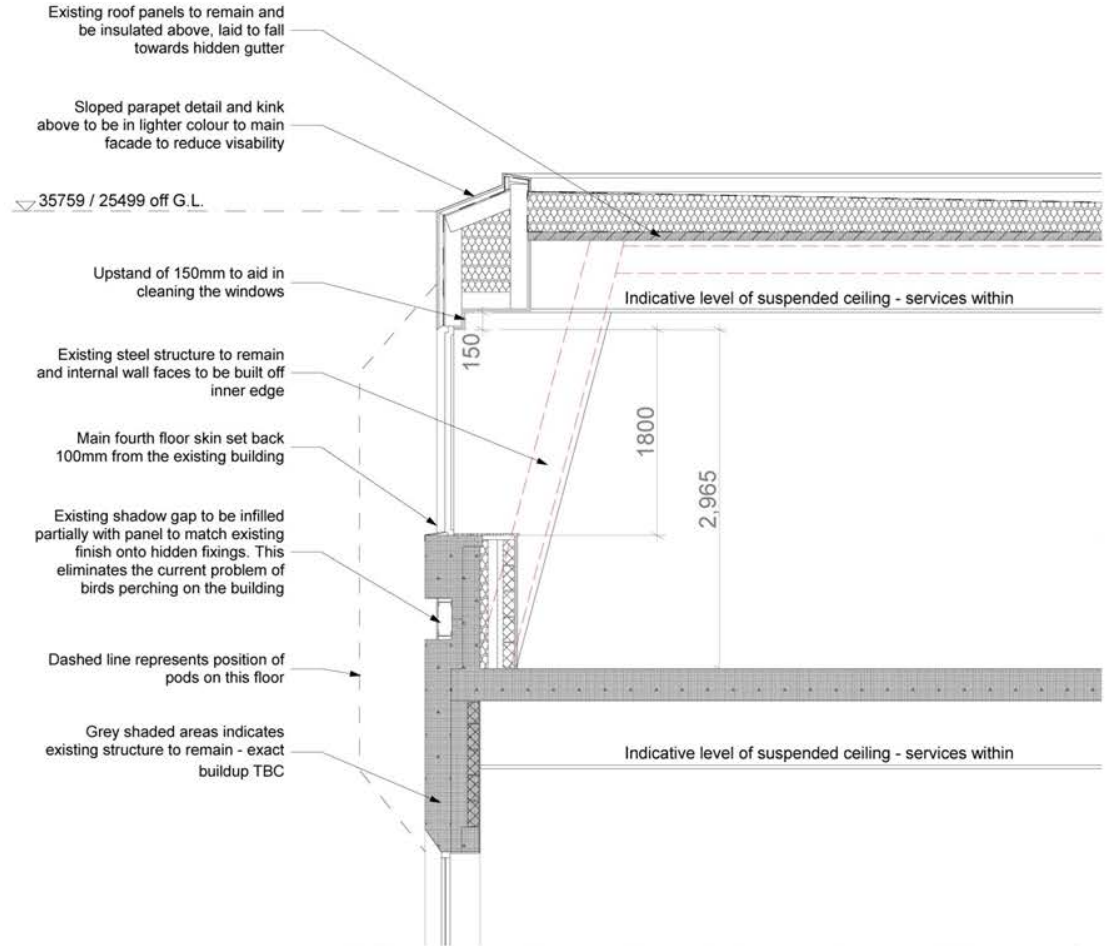
Scale:	1:200, 1/1
Date:	16/03/2016
Drawn:	MS
Checked:	



Birds eye view, showing top sloped roof parapet



Ground view, top sloped roof parapet not visible



Not for construction
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It is not to be used for construction
It is not to be used for construction
It is not to be used for construction
It is not to be used for construction

REV		REV
A	Detail updated to match current scheme + 3D visuals added	

REV

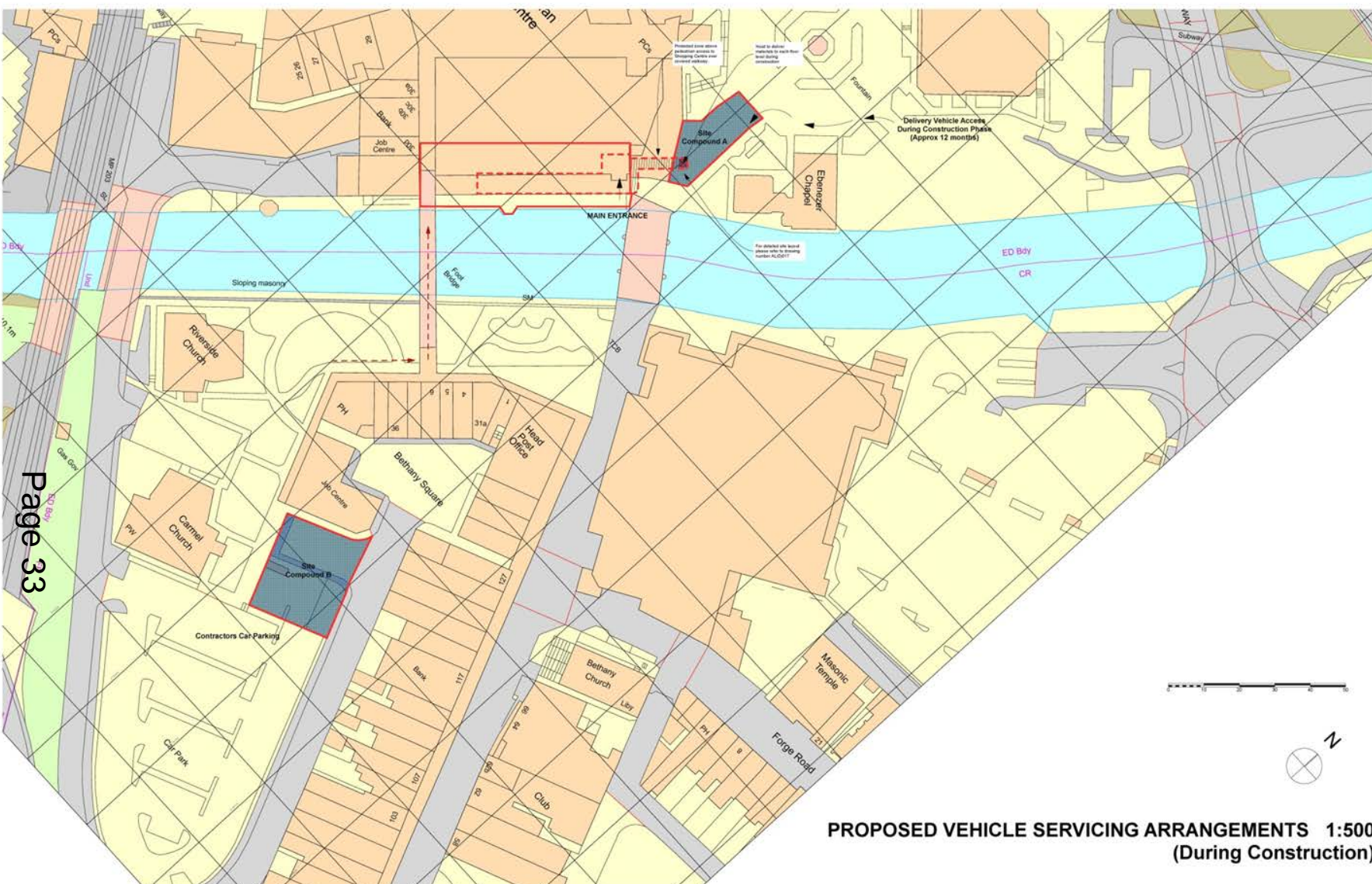
PRELIMINARY	
PLANNING	●
CONTRACT	
CONSTRUCTION	

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for Hacer Property Development and Investment

PCA Job No: 14074	DRG No: 14074 AA(2)002	REV A
Contract: Aberafan House, Port Talbot Residential Conversion	Scale: Date: Drawn: Checked:	1:20

Title: **Roof Details**



Page 33

**PROPOSED VEHICLE SERVICING ARRANGEMENTS 1:500
(During Construction)**

REV		REV	
A	North Point & Scale Bar added.		
B	Contractor's Compound adjusted to suit detailed layout. Refer to drawing 14074 AL(017) Site Establishment.		
C	Note referencing more detailed layout added		
D	Site Compound B added		

PRELIMINARY	
PLANNING	●
CONTRACT	
CONSTRUCTION	

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for Hacer Property Development and Investment

PCA Job No:	14074	DRG No:	14074 AL(0)012	REV	D
Scale:	1:500	Date:	May 2018	Drawn:	KM
Checked:					

Contract: **Aberafan House, Port Talbot Residential Conversion**

Title: **Site Servicing Layout - Construction Phase**



<u>APPLICATION NO:</u> P2016/0320	<u>DATE:</u> 04/05/2016
PROPOSAL:	Proposed change of use from former lorry park to caravan/ motorhome storage and servicing
LOCATION:	Former Lorry Park, Tata Steel , Cefn Gwrgan Road, Margam , Port Talbot SA13 2PT
APPLICANT:	Mr Paul O'Dwyer
TYPE:	Full Plans
WARD:	Margam



12 APR 2016
16/320



View from Abbots Close



View from Abbotts Close
(through boundary fencing)







